

Memorandum of common provisions
Section 91A Transfer of Land Act 1958

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This memorandum contains provisions which are intended for inclusion in instruments and plans to be subsequently lodged for registration.

Provisions:

Burdened land: As set out in PS839322Y

Benefited land: As set out in PS839322Y

Expiry date: As set out in PS839322Y

Covenants:

Except with the written consent of the Responsible Authority the registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not:

- a) Construct or allow to be constructed or remain on the lot any dwelling or garage outside the building envelope shown hatched in the diagrams overleaf (excluding allowable projecting building elements that project outside the building envelopes as contained in Part 5 Regulation 74(3), 79(3) & 79(4) of the Building Regulations 2018).
- b) Construct any dwelling or garage on a side boundary of a lot unless the dwelling or garage is set back a minimum of 1 metre from the other side boundary of that lot.
- c) Construct a building which, notwithstanding the extent of the building envelope, fails to otherwise meet the requirements of Part 5 of the Building Regulations 2018.

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1. The provisions are to be numbered consecutively from number 1.
2. Further pages may be added but each page should be consecutively numbered.
3. To be used for the inclusion of provisions in instruments and plans.

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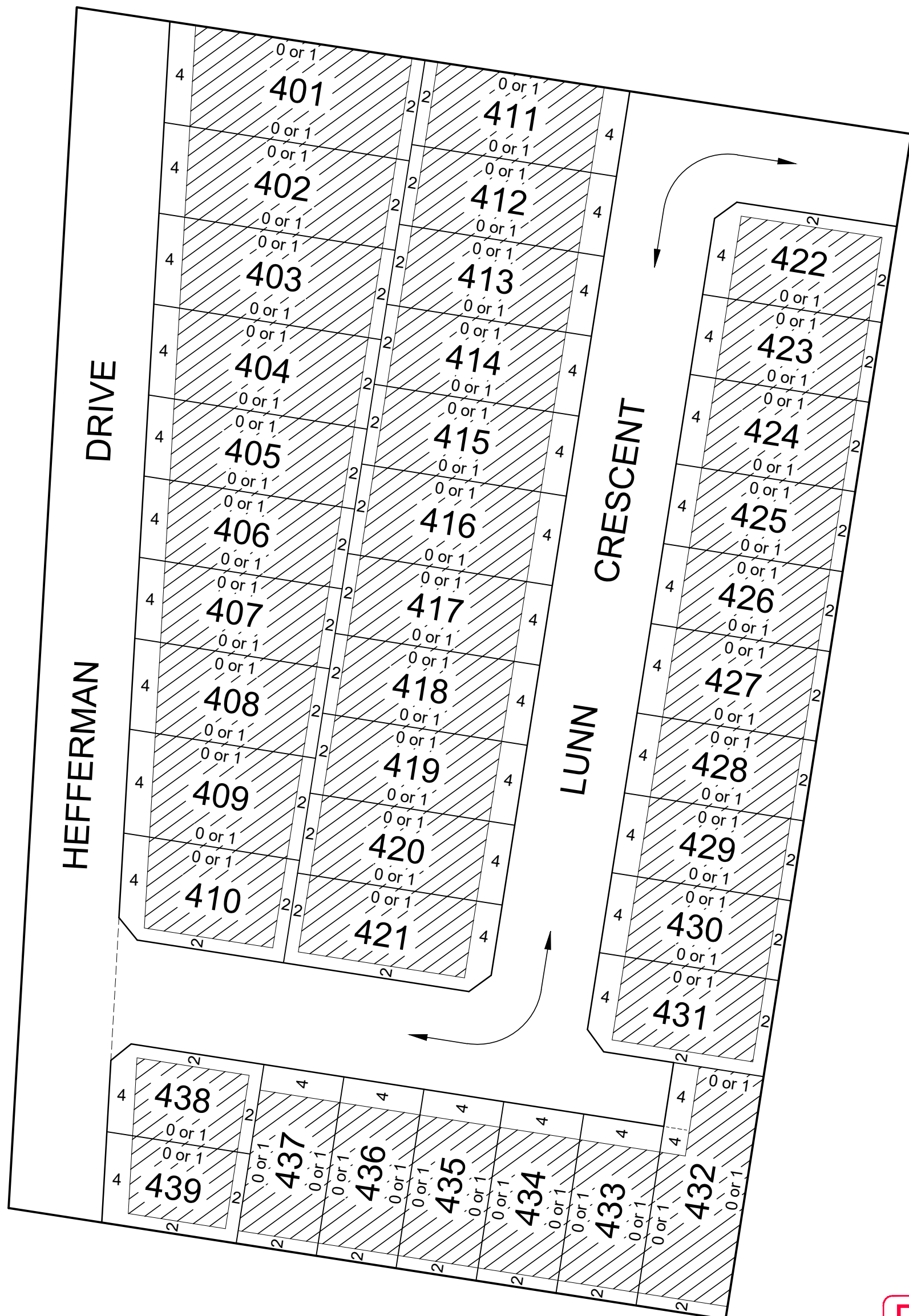
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3. Diagrams and Plans

NOTE: LOTS ON THIS PLAN MAY BE SUBJECT TO TREE PROTECTION ZONES. REFER TO THE PLAN OF SUBDIVISION FOR FURTHER DETAILS.

NOTE: 0 or 1m = 0-200mm or 1m Side Setbacks



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